

BREEAM In-Use International

Commercial: Version 6

Update consultation: 21 August 2019

Introduction & important note

- This presentation will be limited to a number of topics and major changes and therefore it will not cover all changes.
- Please refer to the BREEAM In-Use International: Commercial Version 6 consultation page for full details & feedback channels:
 - Draft Technical Manual
 - Summary of Changes
 - Consultation survey
 - Feedback form

Agenda

Section	Topic	Content
1. Operational	<ul style="list-style-type: none"> • BREEAM In-Use Certification Cycle • Exclusion of Part 3 	<ul style="list-style-type: none"> i. Features of the revised certification cycle. ii. Explanation for Part 3 removal.
2. Technical	<p>General changes</p> <ul style="list-style-type: none"> a) Structure of the manual b) Eligibility criteria additions c) Introduction of Minimum standards d) Introduction of Exemplary-level credits 	<ul style="list-style-type: none"> i. Relocation/merge of existing issues ii. Summary, context and value iii. Vacant space criteria iv. New minimum standards v. New exemplary-level credits vi. Two new environmental categories
	<p>Major category-specific changes</p> <ul style="list-style-type: none"> a) Health and Wellbeing b) Energy c) Resources 	<p>Categories which have received the highest level of technical development.</p>

Operational

1

Certification Cycle

Revised certification cycle

Introduction of 3 year BREEAM In-Use Certification

- Reduces frequency of assessment verification required by Assessors
- Removal of administrative task of 'confirmation of no significant changes'

Open measurement (Post certification)

- Enables modifications to the assessment during certified period
- Allows users to continue tracking asset performance for the duration of the certified period

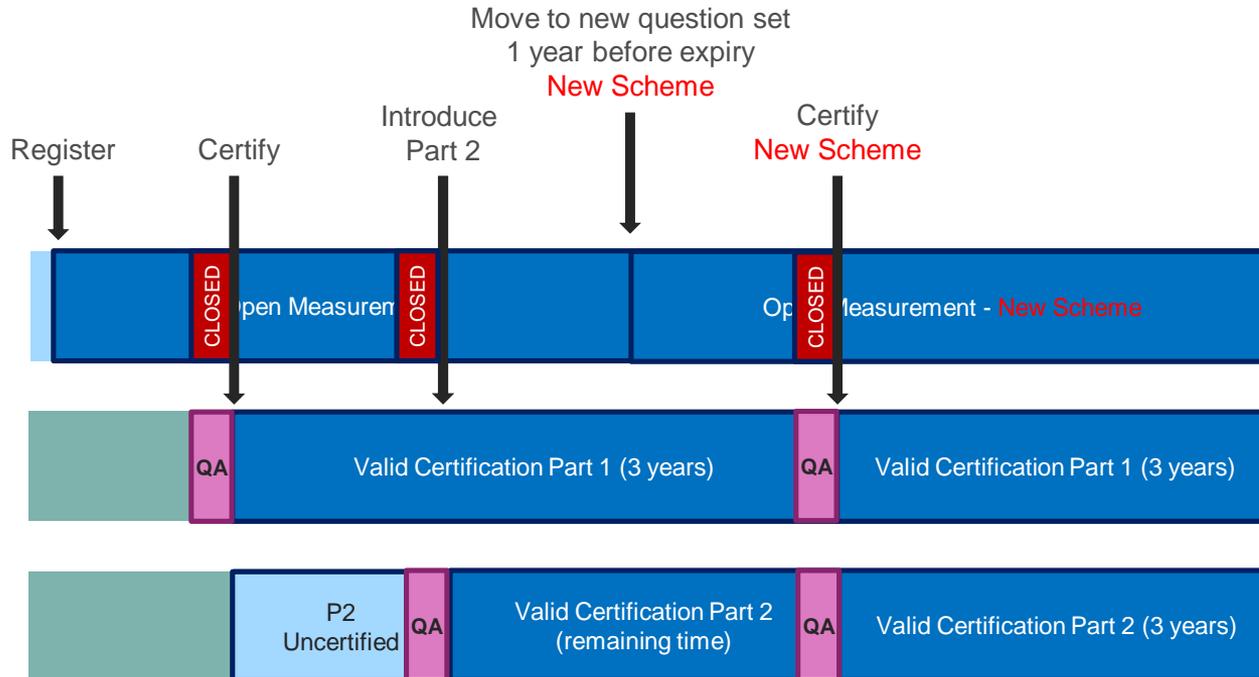
'Significant change' now 10% or more

- Amended from a change of 5% or more (to the overall score per assessment Part) to a change of 10% or more (to the overall score per assessment Part)

Mid-cycle certification submissions

- Assessments can be submitted to BRE Global for an **update** to the certificate
- Introduction of Desk Based Audit verification option for Assessors (not significant changes only)

New Certification Cycle – New Part



Easier to re-measure (benefits)

1. Significantly more flexibility for users
2. Verification of data by Assessors is only required once every three years, unless significant changes are made to the assessment.
3. Provide an efficient processes to manage the additional submissions within the cycle
4. New Parts can be added at any time. Where changes are made in the third year, these will be assessed against the most current scheme.

Part 3

Exclusion of Part 3 from this update

- Part 3 assessments have a different focus and audience to the rest of BIU
- Occupant performance is driven by organisational policies and does not necessarily change for an individual asset
- Occupant actions are an important feature of the overall sustainability of a building
- With this in mind, BREEAM is planning to review, explore and develop this area of assessment. We would like to work with you in the future to assess the sustainability of the organisation

For any users wishing to assess against 3 Parts of BREEAM In-Use International (Inc. Occupier Management), the BREEAM In-Use International 2015 will be left open for registrations for a period of up to one year following the launch of BREEAM In-Use International V6.

Technical

2

General changes

Structure of the Technical Manual

**Part 2 has been renamed as 'Management Performance'

BREEAM In-Use International 2015 Issue	BREEAM In-Use International Version 6 Issue	Type of change
Hea 02 (Glare control)	Hea 02 (Control of glare from sunlight)	Renamed
Wst 01 (Storage of operational waste)	Rsc 02 (Reuse and recycling facilities)	Relocated & renamed
Ene 23 (Water heating) Ene 24 (Water heating energy sources)	Ene 09 (Water heating)	Merged & renumbered
Hea 10 (Inclusive design)	Hea 12 (Inclusive design)	Renumbered

Summary, Context and Value

- The statements are provided for each Category and each Issue within the Category.
- Understanding of why the questions have been asked and what each Issue aims to achieve.



Asset Performance:Transport



Summary

Encourages the provision of improved access to local amenities and sustainable modes of transport, for example, public transport and other alternative transport solutions for building users. This facilitates travel modes that support a reduction in car journeys, and consequently, congestion and CO₂ emissions over the life of the asset.

Context

Cities around the world are actively looking at ways of improving quality of life, air quality, congestion and the ease of movement of people through urban environments. Reduction in the use of private car trips is a key focus area and this is resulting in the implementation of increasing restrictions on private cars and

Eligibility criteria

Vacancy

This has been introduced to ensure that assessments will be more representative of the assessed space.

(All Parts)

The asset must be a complete and finished structure.

(Part 1 - Asset Performance)

No more than 20% of the Gross Internal Area (GIA) can be classified as Vacant (unfitted).

(Part 2 - Management Performance)

No more than 20% of the Gross Internal Area (GIA) can be classified as either Vacant (unfitted) or Vacant (fitted). For example, where 10% of the asset is Vacant (unfitted) and 20% Vacant (fitted), this is ineligible for assessment under these Parts as it exceeds 20% (total of 30%).

Eligibility criteria

Vacancy

Vacancy type	Definition
Vacant (unfitted)	Areas of an asset which are not fitted out, and consequentially unoccupied.
Vacant (fitted)	Areas of the asset which are fitted out, and are either: a) Not leased, OR b) Leased or owner occupied, and which have been left unoccupied. For example, in an office this is not referring to a few empty desks, this is referring to an entirely unoccupied unit or floor.

New Minimum standards

- New minimum standards have been introduced.
- To achieve a particular BREEAM rating, the minimum overall percentage score must be achieved as well as the minimum standards.
- Tables 2 and 3 (Summary of Changes) provide the details on issue that include minimum standards.

★★★★★★	Outstanding
★★★★★	Excellent
★★★★	Very Good
★★★	Good
★★	Pass
★	Acceptable

Example:

The stars above show that minimum standards apply for 'Excellent' and 'Outstanding' ratings.

New Exemplary-level credits

What are exemplary-level credits?

Additional credits are awarded to recognise sustainability-related benefits or performance levels not currently recognised by standard BREEAM assessment issues and criteria.

How will they work within BREEAM In-Use?

- Each exemplary-level credit achieved adds 1% to an asset's overall score.
- The maximum number awarded for any one asset is 10 per Part; therefore, the maximum additional score available is 10% per Part.
- No assessment can exceed 100% for the overall score.

New Exemplary-level credits

Example application of exemplary-level credits



Asset Performance:
Hea 04 Lighting control

Credits

No Minimum Standard

The diagram illustrates the application of exemplary-level credits. On the left, a green icon with a pulse line represents the asset. The text 'Asset Performance: Hea 04 Lighting control' is displayed. To the right, a green trapezoidal credit icon contains the number '4'. A star with the number '1' is circled in red, indicating one additional exemplary-level credit. To the right of the credit icon, a star rating system is shown with six stars, where the top two stars are filled, representing a 'No Minimum Standard'.

For Hea 04:

- 1 additional exemplary-level credit is available
- (See reference to star symbol which indicates how many extra credits are available)

New Exemplary-level credits

Example application of exemplary-level credits

Question

Is internal lighting zoned in occupied space to allow for occupant control?

Credits	Answer	Answer option
0	A.	Question not answered
0	B.	No
2	C.	Yes, in $\geq 50\%$ of relevant occupied space
4	D.	Yes, in all relevant occupied space
Exemplary	E.	Yes, in all relevant occupied space with manual dimming in all zones

Two new environmental categories

Resilience category

- A key aspect in understanding the sustainability of a building.
- Consideration into, and consequently, the proactive management of any physical or climate-related risks to the asset.
- Issues from existing 'Materials' category (BREEAM In-Use International 2015) and some are new to this version of the standard.

Resources category

- Leading towards a circular rather than a linear 'take-make-waste' model.
- 'Waste' is a potential source of resources that can be exploited rather than disposed of.
- 'Materials' and 'Waste' categories together into a single 'Resources' category.

Category-specific changes

Health and Wellbeing category

Overview:

- Health and Wellbeing has undergone a thorough/substantial review
- Further guidance has been added to some issues in order to make the question set more robust and to provide clarification on how the criteria should be applied
- Different performance levels have been introduced to some issues to avoid an ‘all or nothing’ approach to achieving credits
- Some issues have been merged, relocated and/or renamed
- Due to the level of change within this category, many issues have been renumbered

Health and Wellbeing category

Asset Performance (Part 1) – Notable changes

- **Hea 01 Daylighting:** new calculation method (based on glazed area to floor area ratio)
- **Hea 03 Internal and external lighting levels:** new procedure for measuring illuminance
- **Hea 05 High frequency lighting control gear:** new issue based on BREEAM-NL issue
- **Hea 06 View out:** relocated from Part 3 and aligned with BREEAM NC and RFO
- **Hea 07 User comfort controls:** ‘Thermal control’ and ‘Ventilation control’ issues merged
- **Hea 09 Carbon dioxide sensors:** relocated from Part 2 and additional clarification
- **Hea 10 Carbon monoxide detection:** relocated from Part 2 and new content to clarify when and where detectors required
- **Hea 12 Inclusive design:** significantly updated to provide detail on how to apply criteria

Health and Wellbeing category

Management Performance (Part 2) – Notable changes

- **Hea 14 Thermal comfort:** rewritten to provide more robust assessment of thermal comfort
- **Hea 15 Smoking policy:** new issue covering internal and external areas
- **Hea 16 Indoor air quality management:** new issue combining elements of ‘Internal environment: refurbishment/renovation/redecoration’, ‘Volatile organic compounds’, ‘Control of chemicals’ and ‘Deep cleaning’ issues; plus additional new requirements
- **Hea 17 Acoustic conditions:** significant changes to align with BREEAM NC and RFO
- **Hea 18 Legionella risk management:** ‘Microbial contamination’ and ‘Legionella management’ issues merged; clarification on what needs to be assessed and by whom
- **Hea 19 Drinking water management:** relocated from Water category; aligned with Hea 13

Energy category

Overview:

Major overhaul – consolidating related questions into one issue and substantial changes to the issues themselves

Asset Performance (Part 1)

- Substantially revised the Asset Energy Calculator - (Ene 01 – 09)
- New issues include:
 - DSM (demand side management)
 - Installed controls
 - Renewable energy sources
 - Internal transport systems (lifts and escalators)
 - External lighting
- Provision for energy monitoring (moved from Part 2)

Management Performance (Part 2)

- Updated carbon emission factors and energy benchmarks
- Introduced recognition for year on year reductions in carbon emissions

Energy category

Asset Performance (Part 1)

- **Asset Energy Calculator** – More accurate (simplified) energy modelling approach.
 - Takes better account of thermal performance of envelope (roofs, windows & solar shading)
 - Minimum data requirements unchanged **but** more information = more accurate = more credits
 - Generates indicative potential carbon savings from specific improvements
- **NEW DSM** – Demand side management capability associated with the building now recognised (exemplary credits)
- **NEW Installed controls** – The benefits associated with HVAC building controls are now recognised (more sophisticated controls = more credits)
- **NEW Renewable energy sources** – Recognises solar PV and solar thermal installation – takes account of the available scope for installation (accessible roof area)
- **NEW Internal transport systems** – Recognises more efficient lifts and escalators (where present)
- **NEW Internal lighting** – Recognises more efficient external and carpark light (where present)

Energy category

Management Performance (Part 2)

Operational energy calculator – No significant change to data input requirements

- Updated energy benchmarks
- More recent CO₂ emission factors
- More credits – to reflect importance of measuring actual performance

Plan to generate additional performance metrics (carbon and energy) from operational energy data (outside of this update)

NEW energy performance improvements – exemplary credits based on annual carbon reduction achieved over 3 years.

Resources category

New category!

Brought the issues previously in the 'Materials' and 'Waste' categories together into a single 'Resources' category.

Overview:

- Responsible and circular use of physical resources in the asset
- Better understanding of the condition and value of the asset – maintenance or improvement of its value
- Rewarding appropriate sorting and storing facilities helps to promote a more circular use of waste resources generated during the operation of the asset .

Resources category

Most notable changes include:

- **Rsc 01 (Condition survey):** new answer structure and merge of condition survey issues
- **Rsc 02 (Reuse and recycling facilities):** provision of adequate space for waste; Minimum standard applies & chance for exemplary-level credits
- **Rsc 03 (Resources inventory):** new issue, introducing circular economy principles
- **Rsc 04 (Future adaptation):** exemplary-level credit
- **Rsc 05 (Sustainable procurement):** new answer structure; Minimum standard applies & chance for exemplary-level credits
- **Rsc 06 (Optimising reuse and recycling):** new issue aims to gather operational waste data

Consultation

Consultation is still OPEN

Please refer to the [BREEAM In-Use International: Commercial Version 6 consultation page](#) for full details & feedback channels:

- Draft Technical Manual
- Summary of Changes
- Consultation survey
- Feedback form

Consultation will close on August 30th 2019.

All feedback will be reviewed and considered for the final version.

Thank you

BREEAM
Watford, UK
WD25 9XX
+44 (0)333 321 88 11
breeam@bre.co.uk
www.breeam.com